

Soldotna Downtown Riverfront Redevelopment Plan Appendices

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▶ APPENDIX E: DRAFT MIXED USE ZONING

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APPENDIX E: DRAFT MIXED USE ZONING

E.1 Downtown Riverfront Mixed Use District

Document: Downtown Riverfront Mixed Use District. FIRST FORTY FEET

Description: *This document includes a number of draft regulations and regulatory concepts that may be appropriate for Soldotna's redevelopment area. It incorporates ideas from many other municipalities and is not a finished product.*

Downtown Riverfront Mixed Use District

17.10.XXX

Purpose.

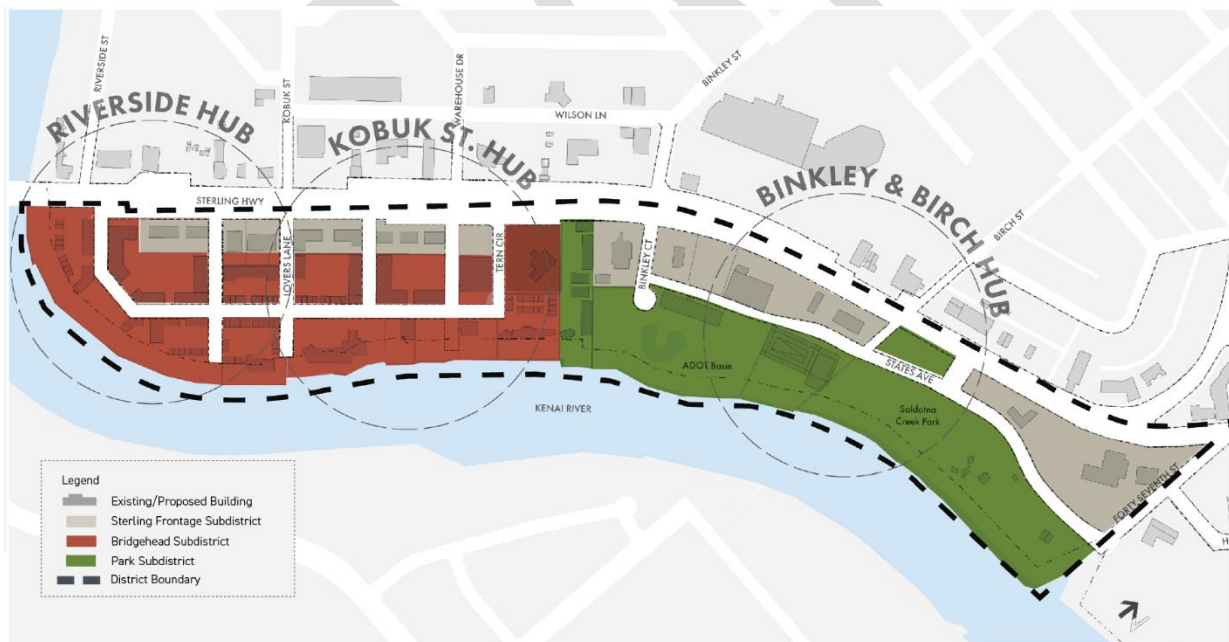
The Soldotna Downtown Riverfront Mixed Use District is envisioned as a one-of-a-kind riverfront experience that attracts locals and tourists with shopping, dining, & lodging in a walkable environment, highlights and incorporates the Kenai River with the Downtown, while increasing the inventory of developable commercial land to support local businesses, business expansion and attract new entrepreneurs to the community. The district is intended to support a sustainable, healthy, equitable, accessible and active environment, and includes a mix of complementary uses, engaging public gathering spaces, diverse housing options affordable to a wide range of community members and safe multimodal travel opportunities within the district and to adjacent commercial areas as well as to the Kenai Riverfront and nearby neighborhoods. The purpose of the Downtown Riverfront Mixed Use (DRMU) district is to implement the vision, goals, and policies of the Soldotna Downtown Riverfront Redevelopment Plan, and ensure future development is integrated, cohesive, context sensitive and contributes to the overall district vision. (Ord. No.)

17.10.XXX

Applicability.

These standards apply to the properties within the subdistrict areas shown on Figure XX.XXX-1. These standards shall be in addition to other applicable standards of Soldotna Municipal Code or state law and shall supersede those standards where they conflict.

Figure XX.XXX-1. District and Sub-District Map (Ord. No.)



17.XXX.XXX

Regulation of Uses.

A. Uses are allowed as specified in Table 17.XXX-X and as shown in Figure 17.XXX-X, subject to standards and guidelines for Downtown Riverfront District established in this chapter.

Use Categories	Bridgehead Subdistrict			Park Subdistrict			Sterling Frontage Subdistrict		
	C-T1	C-T2	MRC	C-T1	C-T2			C-T2	
Residential Categories									
Multifamily	Y	Y	Y	Y	Y			Y	
Townhome	N	N	Y	N	N			N	
Live/Work	N	Y	Y	Y	Y			Y	
Commercial Categories									
Retail Sales And Service	Y	Y	L	Y	Y			Y	
Office	L	Y	L	L	Y			Y	
Lodging	Y	Y	N	Y	Y			Y	
Quick Vehicle Servicing	N	L [X]	N	L [1]	Y			Y	
Guide services	N	Y	N	Y	Y			Y	
Vehicle Repair	N	N	Y	Y	Y				
Auto Related Sales, Services & Detailing	N	L(X)	N	N	L(X)			L(X)	
Drive-Thru	N	L(X)	N	N	L(X)			L(X)	
Commercial Parking	N	L(X)	N	L(8)	L(X)				
Self-Service Storage	N	N	N	N	N			N	
Commercial Outdoor Recreation	N	N	L(X)	N	L(X)			L(X)	
Commercial Indoor Recreation/Fitness	N	Y	N	N	Y			Y	
Major Event Entertainment	N	N	CU	CU	CU				
Industrial Categories									
Manufacturing and Production	N	L(X)	N	N	L(X)			L(X)	
Warehouse and Freight Movement	N	N	N	N	N			N	
Wholesale Sales	N	L(X)	N	N	L(X)			L(X)	
Industrial Service	N	L(X)	N	N	N			N	
Bulk Fossil Fuel Terminal	N	N	N	N	N			N	
Waste-Related	N	N	N	N	N			N	
Institutional Categories									
Basic Utilities	Y/CU [7]	Y/CU [7]	Y/CU [7]	Y/CU [7]	Y/CU [7]				
Community Service/Clubs/Centers	N	Y	N	L(X)	Y			Y	
Parks and Open Areas	Y	Y	Y	Y	Y			N	
Schools	Y	Y	N	Y	Y			Y	
Colleges	N	Y	N	Y	Y			Y	
Medical Centers/Clinics/Offices	N	Y	N	N	Y			Y	
Religious Institutions	N	Y	N	Y	Y				
Daycare	N	Y	L(X)	N	Y			Y	
Museums and art galleries	N	Y	N	L(X)	Y			Y	
Other Categories									

Y = Yes, Allowed

CU = Conditional Use Review Required

B. Ground Floor Use Regulation by Frontage Type. Ground floor uses shall be regulated by frontage type as shown in Figure 17.XXX-X.

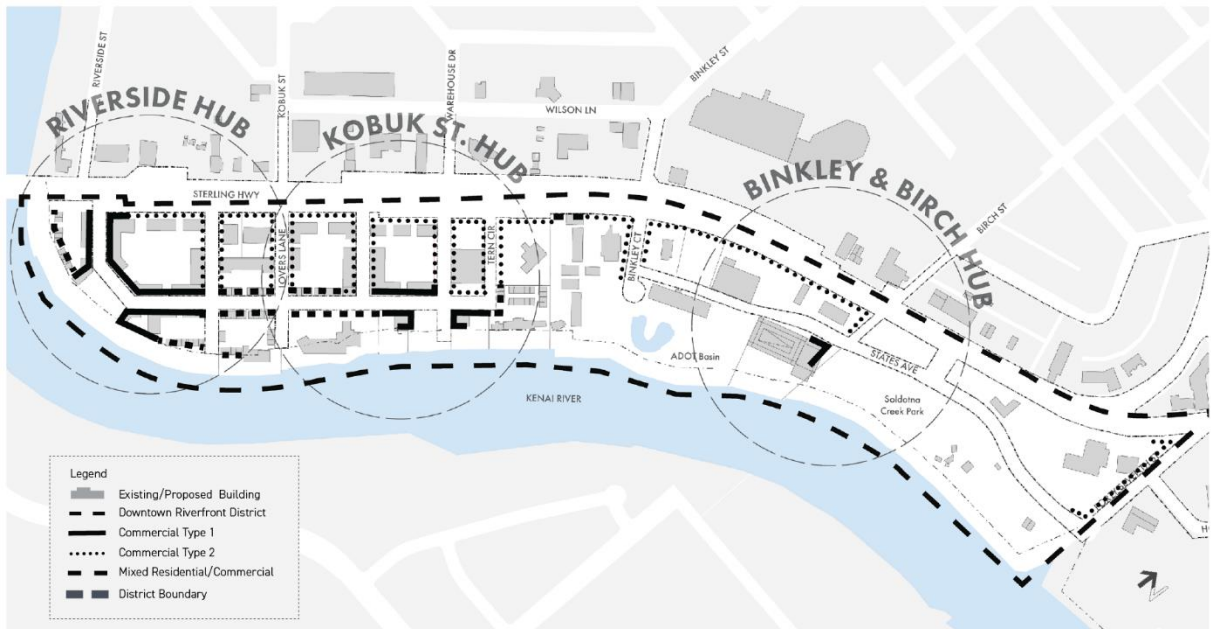
L = Allowed, But Special Limitations

N = No, Prohibited

■ 1. Commercial-Type I frontage:

- a. The following commercial uses are allowed—sales-oriented retail; eating, drinking and entertainment establishments; fitness center and community center.
 - b. Residential and office uses prohibited except lobbies and entrances associated with upper story uses are allowed but limited to 25% of the total length of the street frontage.
 - c. Institutional and industrial uses prohibited.
 - d. Storage units and outdoor storage prohibited.**
- • 2. *Commercial-Type 2 frontage:*
 - a. All institutional and commercial uses, including office uses, allowed.
 - b. Residential uses are excluded other than residential lobbies and entrances associated with upper story residential uses are allowed but limited to 25% of the total length of the street frontage.
 - c. Industrial uses prohibited.
 - d. Storage units and outdoor storage prohibited.
- 3. *Mixed Residential/Commercial frontage:*
 - a. Residential and live/work uses allowed.
 - b. Commercial uses allowed but limited to no more than 25% of the total length of street frontage.
 - c. Industrial and institutional uses prohibited.
 - d. Storage units and outdoor storage prohibited

Figure 17.XXX-X. Ground Floor Use Map (Ord. No.)



C. Live/work uses and standards. “Live/work” means a commercial space where residential and commercial uses are combined and where the dwelling unit is the principal residence of the business operator/proprietor.

1. *Uses.*

- a. *Live/work uses are permitted where commercial uses are permitted in Bridgehead sub-district of the HX district.*
- b. *The following commercial uses are prohibited in live/work units:*

- i. Any use not permitted in the Downtown Riverfront Mixed Use (DRMU) district, as specified in Table 17.XXX-X;
 - ii. The retail sale of food and/or beverages with customers arriving on site. This does not include online (Internet) sales, mail order, or off-site catering preparation;
 - iii. Entertainment, drinking, and public eating establishments;
 - iv. Veterinary services, including grooming and boarding, and the breeding or care of animals for hire or for sale;
 - v. Businesses that involve the use of prescription drugs.
- c. *A live/work unit is allowed instead of, or in addition to, a home occupation.*
 - d. *The residential and the commercial space must be occupied by the same tenant, and no portion of the live/work unit may be rented or sold separately.*
2. *Standards.*
- a. *The commercial use may occupy a maximum of 50 percent of the unit floor area;*
 - b. *Residential uses are permitted above, to the side, or in back of the commercial use; provided, that there is internal access between the residential and commercial uses;*
 - c. *Signage intended to promote on-site commercial uses shall be restricted to two-square-foot signs permanently affixed to door or wall of the commercial use;*
 - d. *No more than one employee (excluding residents of the dwelling unit) shall work or report to work on the premises, and the employment of any persons who do not reside in the live/work unit shall comply with all applicable building code requirements;*
 - e. *Off-site impacts of the commercial use, such as noise, glare, and vibration, shall be subject to city performance standards; and*
 - f. *Explosive, toxic, combustible, or flammable materials in excess of what is allowed incidental to permitted residential uses shall not be stored or used on the premises. (Ord. No.)*

17.XXX.XXX

Design and Development Standards.

A. MASSING AND SCALE.

- 1. *Residential Density. The minimum residential densities in Table 17.XXX.XXX-X shall apply in the DRMU district.*

Table 17.XXX.XXX-X. Minimum Residential Density

Sub-District	Minimum Density
Bridgehead-River Street to Kenai River Riparian Setback	6 dwelling units/acre
Bridgehead	24 dwelling units/acre
Park	0 dwelling units/acre
Sterling Frontage	0 dwelling units/acre

2. *Building Heights.* The building height standards in Table 17.XXX.XXX-X shall apply in the DRMU district.

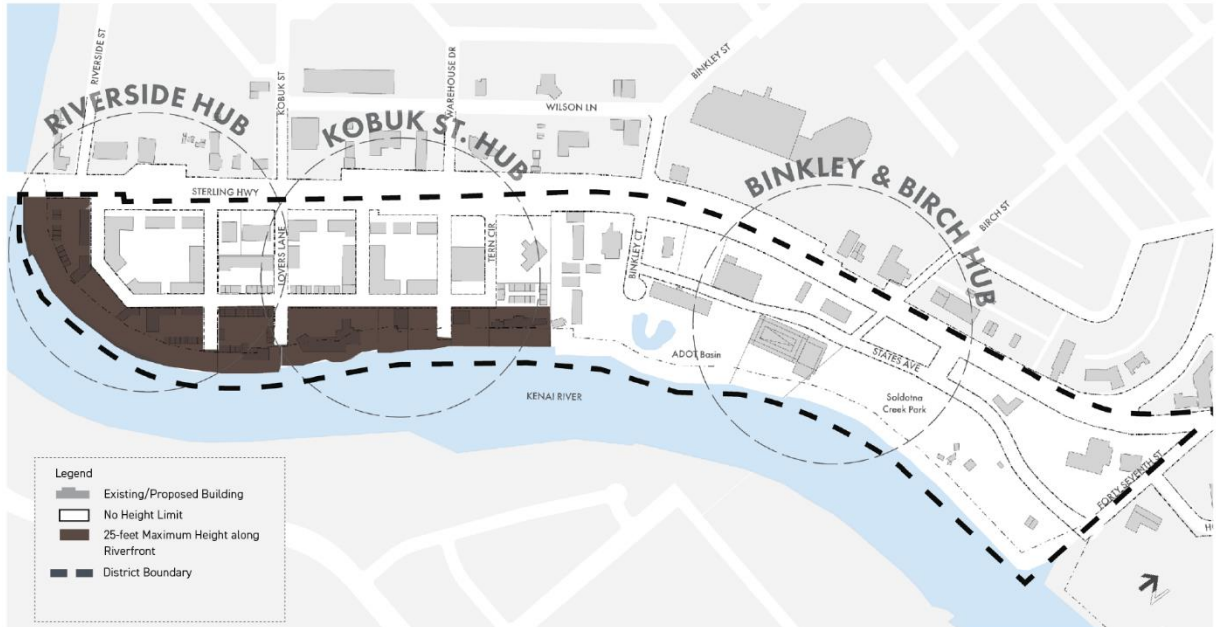
Table 17.XXX.XXX-X. Maximum Building Heights

Sub-District	Maximum Height
Bridgehead-River Street to Kenai River Riparian Setback	25-foot Limit abutting Riparian Setback Zone
Bridgehead	No Height Limit
Park	No Height Limit
Sterling Frontage	No Height Limit

Note: For the Downtown Riverfront Mixed Use (DRMU) district, abutting is defined as a building adjacent to or fronting the 100' Riparian Setback Zone.

DRAFT

Figure 17.XXX-X. Building Heights Map (Ord. No.)



3. *Height exceptions. Height limitations set forth in this chapter and elsewhere in this title shall apply to the following in the DRMU district:*
 - a. *Parapets and railings. Parapets and rooftop railings may extend four feet above the maximum height limit;*
 - b. *Walls or fences located between individual rooftop decks may extend six feet above the maximum height limit if the wall or fence is set back at least four feet from the edges of the roof;*
 - c. *Rooftop mechanical equipment, any required screening for the mechanical equipment, and stairwell enclosures that provide rooftop access may extend above the maximum height limit as follows, with the requirement that the equipment and enclosures must be set back at least 15 feet from roof edges on river-facing façades:*
 - i. *Elevator mechanical equipment may extend up to 16 feet above the maximum height limit; and*
 - ii. *Other mechanical equipment, required screening, and stairwell enclosures may extend up to 10 feet above the maximum height limit.*
 - d. *Roof-mounted solar energy production equipment may extend up to three feet above the maximum height limit; and*
4. *Building façades. Building façades shall not exceed 165 feet in length without an intervening break.*
5. *Build to Line.*
 - a. *Building shall comply with the provisions of Soldotna Code(?) that describe building lines provisions for street frontages except no portion of the structure shall extend into the right-of-way except as specified in subsection (E)(2) of this section. Residential uses may include setbacks per subsection (C)(2) of this section.*

b. *Setbacks for Pedestrian Amenities.* Setbacks up to 10 feet for up to 50 percent of the building frontage are allowed if the setback is used for a walkway, plaza, courtyard, or other pedestrian-oriented amenity or public space.

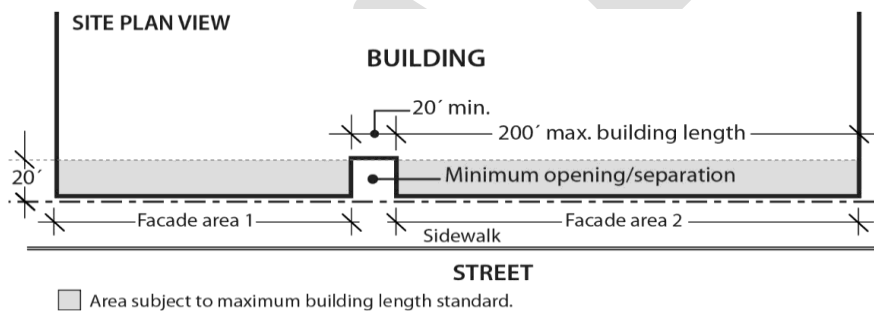
6. *Ground floor plane.* For buildings four stories and above, the maximum ground floor plate area shall not exceed 16,000 square feet. An option to this standard is to demonstrate significant massing breaks in the building façade to include recessed breaks and ground plane openings as pedestrian connections.

B. BUILDING LENGTH, MODULATION AND FAÇADE ARTICULATION.

Purpose. These standards, along with the height and setback standards, limit the bulk of buildings close to the street. These standards help ensure that large buildings will be divided into smaller components that relate to the scale and patterns of Soldotna’s commercial/mixed-use areas and add visual interest and variety to the street environment.

1. *Maximum building length.* The maximum building length for the portion of a building located within 20 feet of a street lot line is 200 feet. The portions of buildings subject to this standard must be separated by a minimum of 20 feet when located on the same site. See Figure 17.XXX-X

Figure 17.XXX-X Maximum Building Length



2. Façade Articulation

a. Portions of building facades that are vertically separated by a gap of at least 10 feet in width extending at least 20 feet in depth from the street property line are considered to be separate facade areas for the purposes of the facade area measurements. See Figure 17.XXX-X Façade Articulation-Division

b. The standard. At least 25 percent of the area of a street-facing facade within 20 feet of a street lot line must be divided into facade planes that are off-set by at least 2 feet in depth from the rest of the facade. Facade area used to meet the facade articulation standard may be recessed behind or project out from the primary facade plane, but projections into street right-of-way do not count toward meeting this standard. See Figure 17.XXX-X Façade Articulation-Recesses.

Figure 17.XXX-X Façade Articulation- Division

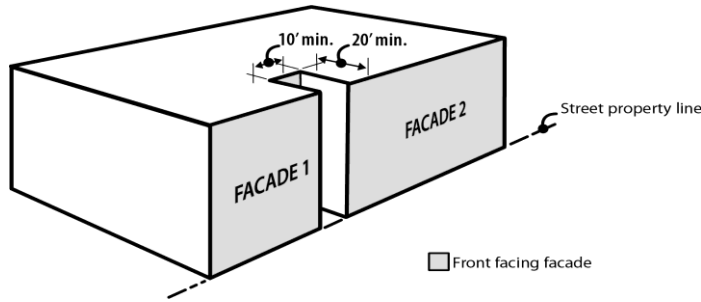
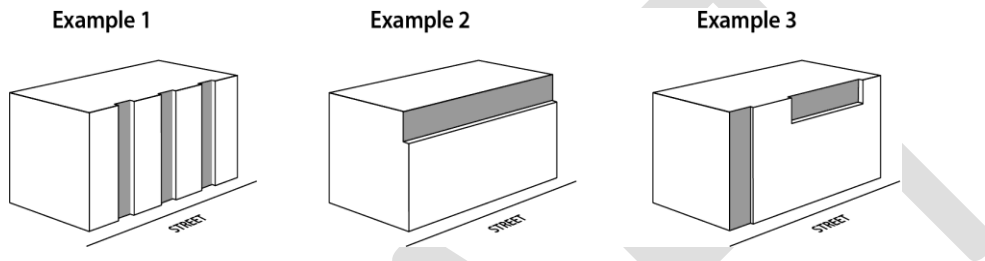


Figure 17.XXX-X Facade Articulation- Recesses



3. *Ground floor transparency.* Buildings with ground floor commercial and residential uses visible from the street or public areas such as parks shall have a minimum percentage of ground level façade transparency between two feet and eight feet above sidewalk grade as specified in Table 17.XXX-X *Ground-floor Transparency* requirements for frontage types indicated in Figure 17.XXX-X. *Ground Floor Use Map*

Table 17.XXX-X. Ground-Floor Transparency

Frontage Type	Ground-floor Percent Transparency between 2 feet and eight feet above sidewalk grade
<i>Commercial- Type 1</i>	75%
<i>Commercial- Type 2</i>	50%
<i>Mixed Residential/Commercial</i>	25% Residential; 50% Commercial and Live/Work

4. *Ground floor to floor height.* The ground floor of commercial buildings shall have a minimum of 16 feet building floor to floor height.
5. *Modulation.* A minimum building modulation along the façade shall be one foot in depth and the minimum width shall be five feet.
6. *Building entry.* Main entrances shall be easily identifiable through the use of building articulation and modulation. Avoid recessed doorways to provide high visibility from the public way.

C. ENTRANCES.

1. *Ground floor window and frontage standards for dwelling units.* The ground floor wall area of street-facing facades of dwelling units that are 20 feet or closer to a street lot line must meet at least one of the following standards:

a. Flexible ground floor design. The ground floor window standard of Subparagraph B.2.a(1) must be met, and the ground level of the building must be designed and constructed as follows:

- (1) The distance from the finished floor to the bottom of the ceiling structure above must be at least 12 feet. The bottom of the structure above includes supporting beams;
- (2) The area meeting this standard must be at least 25 feet deep, measured from the street-facing facade; and
- (3) Each unit must include a front entrance that is located at the level of the finished grade and can be accessed without steps.

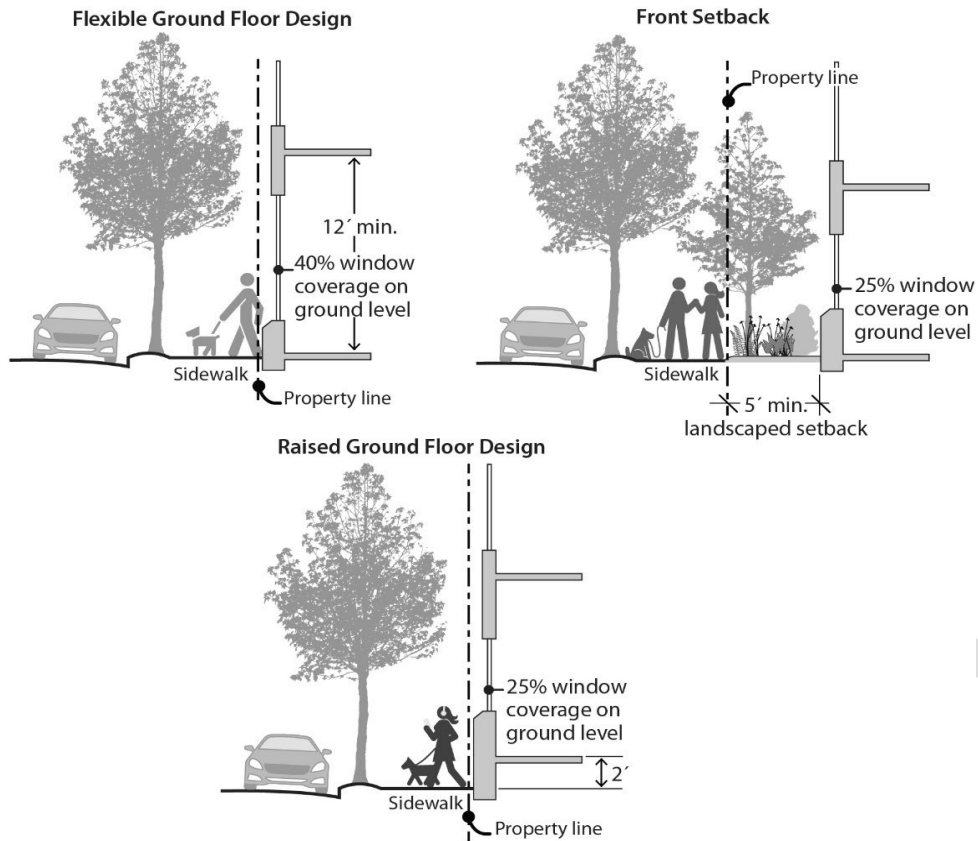
b. Front setback.

- (1) The portions of the building with residential dwelling units on the ground- floor must be set back at least 5 feet from the street lot line. The setback must be landscaped to at least the L1 level and/or hard-surfaced for use by pedestrians; and
- (2) Windows must cover at least 25 percent of the ground level wall area of the portion of the building with residential dwelling units on the ground-floor.

c. Raised ground floor.

- (1) The portion of the building with residential dwelling units on the ground- floor must have the finished floor of each residential unit at least 2 feet above the grade of the closest adjoining sidewalk.
- (2) Window must cover at least 25 percent of the ground level wall area of the portion of the building with residential dwelling units on the ground-floor.

Figure 17.XXX-XX Ground Floor Window Options for Dwelling Units



2. *Entryways.* Ground floor residential entrances shall be set back from the edge of sidewalk or property line a minimum of five feet and a maximum of ten feet to ensure privacy from the public realm. Porches, patios, private spaces allowed within the setback.
3. *Recessed ground floor level.* Recessed ground floors shall be restricted to one level height, except at main entrances.
4. *Vehicle entries.* For mixed use residential and commercial buildings requiring vehicular garage entrances, the garage opening shall be set back from the building frontage a minimum of six feet. Adhere to all required visual sight setbacks.
5. *Townhome Garage Parking.* A minimum of three-foot setback shall be applied for alleyway garage or tuck under parking.

D. ROOF FORMS.

1. *Roof lines.* The length of any continuous flat roofline shall not exceed more than 200 feet without modulation.
2. *Roof Materials.* Roof materials shall meet the minimum SRI (solar reflectance index) standards to reduce urban heat gain. Inappropriate materials such as wood shingles, cement tiles and plastic slate and shingles shall be discouraged.
3. *Rooftop Projections.* Elevator cores, stair projections, solar panels and mechanical equipment shall be incorporated into the architecture of the building with consistent building materials. See

subsection (A)(3) of this section for provisions regarding height, setbacks, and screening of rooftop features.

4. *Roof Decks.* Accessible roof decks shall provide safety setback standards from the roof edge and mechanical equipment as required.

E. SECONDARY ARCHITECTURAL FEATURES.

1. *Visual Interest.* Add visual depth to façades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the façade design.
2. *Encroachment.* A building's enclosed occupiable space shall not encroach into the right-of-way, with the exception of bay windows or balconies. Bay windows and balconies shall not extend more than four feet into the right-of-way and 30 percent of width of residential units or 50 percent of the width of hospitality units.
3. *Weather Protection.* Overhead weather protection shall be provided along all streets with a minimum clear height of 10 feet and maximum clear height of 15 feet.
4. *Pedestrian-oriented features.* The width of any new or reconstructed ground-level building wall facing a street shall be devoted to pedestrian-oriented features or material variation, pedestrian entrances and/or windows affording views into the building space with, at least 35 percent for residential uses, 50 percent for commercial and services oriented to Sterling Highway and 75 percent for commercial uses oriented to the River Street and new and enhanced streets between Sterling Highway and River Street.
5. *Blank walls.* Continuous blank walls shall not exceed 15 feet in length. Where blank walls are present, incorporate a range of design approaches such as green walls, façade articulation, art or other approved applications to create interest at the adjacent pedestrian area.

F. MATERIALS AND COLORS.

1. *Prohibited materials.* The following are prohibited exterior building materials: plastic laminate, glossy or large expanses of acrylic or plexiglass, pegboard, mirror, highly polished or plated metals (except as a trim), mirrored glass, fabric or paper wall coverings, plywood or particle board, sheet or modular vinyl, shingles, shakes and EIFS (Exterior Insulation Finishing Systems).
2. *Mechanical equipment.* Mechanical equipment and above grade utilities shall be located or screened with quality materials to minimize visual impact on the public right-of-way.

G. LANDSCAPE DESIGN.

1. *Adaptive Plant Types.* Use Native and Adaptive Plant Species as a primary resource for all at-grade planting areas both on site and within the public right-of-way. If the planning official approves, applicants must provide plant substitutions that meet the same characteristics of the preferred plants such as but not limited to size, shape, fall color, flower, genetic potential. The characteristics must come from objective sources, such as books, manuals, or green industry cut sheets.
2. *Landscape requirements.* All development will meet or exceed landscaping standards in SMC 17.XXX.XX for the DRMU zone.

3. *Landscaped Buffers, Planter Strips, and Vegetated Swales.* All landscape buffers, planter strips and vegetated swales approved as part of the development on site and/or within the public right-of-way shall be maintained. Plants shall be maintained in a vigorous and healthy condition, free from diseases, pests, and weeds. Competing vegetation shall be controlled to the extent necessary to allow establishment, survival, and growth of the plantings per the approved landscape plan. Plants which become diseased, severely damaged, or which die, shall be removed and replaced by the owner as soon as possible but no later than 60 days if notified by the city. All plants removed shall be replaced with a healthy plant of the same size and species as required by the approved landscape plan for the property.

H. **STORMWATER.** In addition to the standards of **for Soldotna considertaion** the following standards apply in the DRMU dostrict:

1. *Integrated Stormwater Management Systems.* The district shall incorporate stormwater management systems as a principle design element in order to manage and direct stormwater runoff while creating an opportunity to integrate public space amenities as part of the sustainable site management approach.

2. *System Design.* Stormwater infrastructure shall be designed as a complete system connecting buildings, sites, parcels and blocks as an interconnected system. Curb extensions within new and enhanced streets is a key stormwater management infrastructure of the public right-of-ways. New and enhanced streets will serve as a passive public space and amenity while integrating functional roadway and stormwater features of the street rights-of-way.

3. *Sustainable Plant Materials.* Select plant materials conducive to periods of high-water levels, as well as prolonged periods of drought shall be utilized to mitigate varying seasonal conditions.

4. *Stormwater Management Infrastructure.* Stormwater infrastructure located in the public right-of-way shall be provided consistent with the city of Soldotna Standard Details.

I. **SIGNAGE.**

1. *All signage shall comply with the provisions of Chapter 17.XXX SMC for number, location and size restrictions unless as modified herein.*

2. *Sign Location.* Building signage shall be located no higher than the first floor of the building.

3. *Monument Signage.* Standalone monument signage is permitted if located on private property and shall not impede right-of-way vision triangles. Monument signs shall be no taller than eight and one-half feet above grade, no wider than four feet and be constructed of materials contained on the exterior of adjacent buildings.

4. *Electronic Message Center signage.* Electronic message center signage shall not be permitted.

5. *Master Sign Program – Individual Buildings.* Individual buildings that accommodate multiple businesses and require signage for each business shall produce a master signage program that defines the size, number, and locations of signs. The design of signs shall be reviewed and approved by the city as a part of the building design review process to ensure the signage is integrated into the architecture and overall development.

6. *Materials.* Signage shall be constructed of high quality, durable materials.

7. *Illumination.* Direct illumination such as goose neck, exterior illumination as well as halo style lettering or back lit lettering are the preferred method of signage illumination. Channel letter signage

is allowed as an option only if exterior lighting applications are demonstrated to not be possible based on constraints for the mounting location, ambient light levels or to eliminate the use of a backer board.

8. *Prohibited signage.* In addition to prohibited signage contained in SMC 17.XXX.XXX, the following signage or signage materials are prohibited:

a. *Cabinet signage/box signage/can signage.*

b. *No exposed raceways.*

9. *Application.* Signage shall be appropriate for its intended use such as residential, office, and retail.

10. *Public Realm Signage.* Kiosk, wayfinding and interpretive signage intended to promote a comprehensive district placemaking strategy shall be allowed upon review from the city.

J. PARKING.

1. *Parking Strategy.* Provide a dispersed, shared parking strategy through a combination of surface lots, on-street, off-street podium and above-grade parking structures that meet the demand of residents, visitors, and employees.

2. *Parking Ratios.* Parking will be provided to meet the acceptable city of Soldotna standards for the DRMU zone as listed in Table 17.XXX.XXX-X and 17.XXX.XXX-X below.

Table 17.XXX.XXX-X. Parking Minimums for Residential Uses

Sub-district	Required off-street parking
Bridgehead-River Street to Kenai River Riparian Setback	1 space per dwelling unit
Bridgehead	1 space per dwelling unit
Park	1 space per dwelling unit
Sterling Frontage	1 space per dwelling unit

Table 17.XXX.XXX-X. Parking Minimums for Nonresidential Uses

Nonresidential Uses	
Uses	Required off-street parking
Office	1 space per 400 square feet
Hotel	0.5 spaces per lodging unit
Senior Living	1 space per living unit

Commercial/All Other Uses	No minimum requirement for ground floor uses
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a. The minimum number of parking spaces required for residential uses may be reduced per Table 20.670.040-3 below, if the city approves a transportation demand management (TDM) plan for the proposed development.

b. The TDM plan described in subsection (J)(2)(a) of this section shall include the following elements:

- i. Narrative describing the characteristics of the proposed development and how it is served by the larger transportation system, including roads, transit facilities and services, and other multimodal transportation facilities.*
- ii. Specific TDM measures to be employed to reduce transportation via single-occupancy vehicles and resulting on-site parking needs. Eligible TDM measures are listed in subsection (J)(2)(c) of this section.*
- iii. A description of how TDM measures will be communicated to users of the development.*
- iv. A description of how users will be required or encouraged to use TDM measures.*
- v. A proposed process for monitoring individual and overall use of TDM measures and reporting their use to the city on an annual basis.*

c. TDM plans must include specific provisions to be eligible for residential parking reductions. TDM plans must include either measure from subsection (J)(2)(c)(i) or (ii) of this section, and at least three other measures selected from subsection (J)(2)(c)(iii), (iv), (v), (vi) or (vii) of this section, for a total of at least four measures:

- i. Provision of annual transit pass or equivalent for residents at no charge or a rate reduced by 75 percent or more.*
- ii. Pricing for parking spaces that is charged separately from residential units.*
- iii. Designation of at least five percent of available parking spaces for high occupancy vehicle use.*
- iv. On-site presence of car-share vehicles and parking spaces (which account for at least five percent of the total number of parking spaces).*
- v. Use of a guaranteed ride home program or an agreement to pay into and utilize the city of Vancouver's existing guaranteed ride home program.*
- vi. On-site presence of shared cargo bikes available to all residential tenants.*
- vii. On-site provision of repair facilities and/or services for bicycles and other nonvehicular mobility devices available for all residential tenants.*

d. Operators of an approved TDM program shall submit a report summarizing operation, and results of the program on an annual basis beginning one year after occupancy of the building. The report shall describe the following:

- i. Specific TDM measures used.*

ii. Certification that all TDM measures selected for the TDM program are operating as described in the TDM plan.

iii. Documented participation of program users, including average number and frequency of use of measures and services.

e. Additional information about TDM program requirements shall be provided to participants by city staff.

3. *Parking Standards.* All parking shall meet the requirements contained in **Chapter 17.XXX SMC** as applicable unless as contained herein.

4. *Parking Structures.*

a. All structured parking shall be accessory to and integrated into a block and building envelope and will support multiple permitted uses in the district. Standalone parking structures are not permitted.

b. Any above grade structured parking shall be screened from public view by integrating into the overall building design, and/or through a combination of screen walls and landscape buffer areas. Screening provides an opportunity to enhance building design through the use of art, green walls, and innovative materials.

c. Semi subterranean parking shall be screened along all sides with the exception of entrances and exits. Separate openings for ventilation shall be screened with evergreen landscape planting and/or metal mesh screens.

5. *Surface Parking.* New surface parking lots shall be located behind buildings and screened from the public right-of-way. In the event screening by the building is not feasible, staff may consider surface parking lots located along the right-of-way with required screening.

6. *Parking Lot Screening.* A wall, fence, or evergreen planting is required between an off-street parking area and a street frontage in the DRMU district.

a. This screening is required for new construction or paving or repaving of a parking area over 1,000 square feet.

b. The wall or planting shall be a minimum height of two and one-half feet and a maximum height of three feet.

c. A fence shall be a maximum height of five feet. The total height of a combined wall and fence structure also shall be a maximum of five feet.

d. A pedestrian access (break in the screening) is required a minimum of every 150 feet or a minimum of one per street frontage.

e. Fencing shall be wrought iron.

f. A wall shall be a solid, decorative concrete, or masonry wall.

g. If a solid, plain wall, the wall must incorporate one of the following design features:

i. Decorative panels;

ii. Integrated planting (systems);

iii. Public art; or

iv. Other features as approved by the planning official.

7. *Existing Parking.* Existing surface parking lots will be allowed to be maintained until replaced by development of the parcels.

8. *Parking Access.*

Limits and prohibitions for vehicular access to parking and loading areas are intended to promote safe and comfortable pedestrian access along River Street and new and enhanced streets that serve the Downtown Riverfront Mixed-Use District.

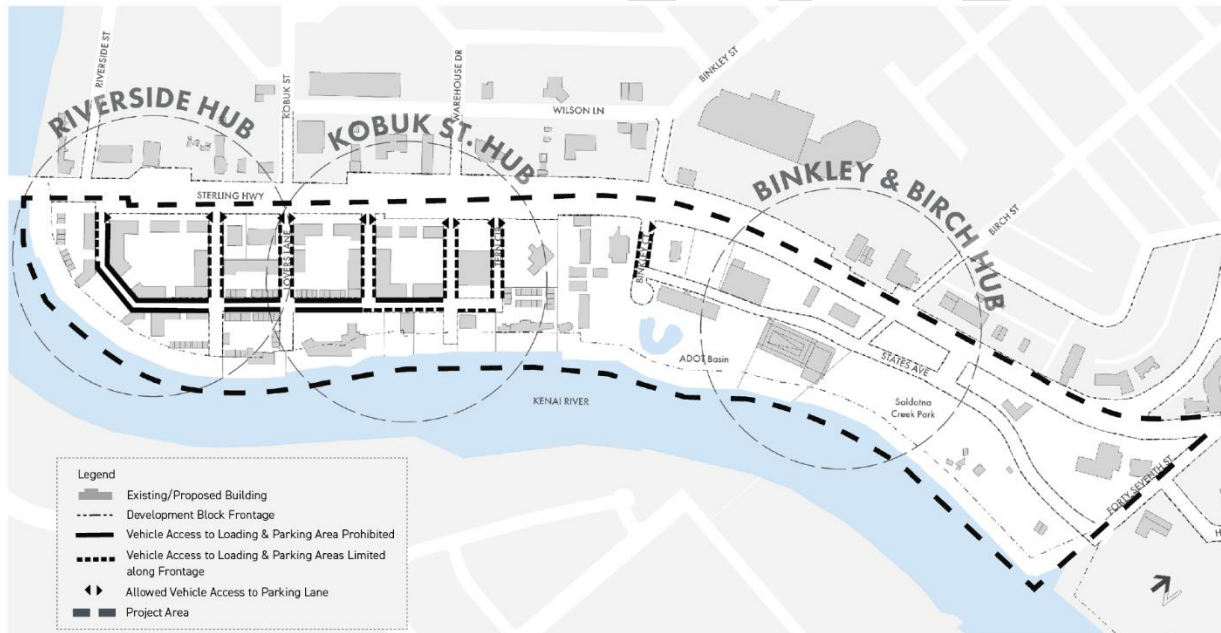
1. *Limited Access Frontages.*

The following standard limits or prohibits vehicular access to off-street parking and loading areas to promote safe and comfortable pedestrian access within the Downtown Riverfront District and to publicly accessible trails and public gathering areas along the Kenai Riverfront.

2. *Prohibited Access Frontages.*

Vehicular access to development sites is prohibited along key frontages, where indicated, to reduce conflicts between automobiles and pedestrians and promote a safe and pleasant experience for walking. Vehicular access is restricted to one-curb-cut per block frontage where indicated.

Figure XX.XXX-X. Parking Access (Ord. No.)



9. *Parking Lot Lighting.* Parking lots shall be well lit to provide visibility at night.

10. *Garage Openings.* Garage openings visible from public streets shall include decorative screening to soften the appearance of the garage façade.

11. *Parking Setbacks.* Parking garage entrances and exits shall be set back six feet from the building façade.

12. *Parking Signage.* All parking shall have clear signage and entrances/exits lighted.

13. *Bicycle parking.* Bicycle parking shall be provided to meet acceptable city of Vancouver standards for the HX zone as listed below in Table 20.670.040-5, and shall be consistent with the standards of VMC 20.945.050 and the city of Vancouver Bicycle Parking Guidelines.

a. Up to 50 percent of long-term bicycle parking spaces may be provided in individual residential dwelling units, if they meet the following criteria:

- i. The bicycle parking is located within 15 feet of the entrance to the dwelling unit.
- ii. The bicycle parking is located in a closet or alcove of the dwelling unit that includes a rack.
- iii. For buildings with no elevators that utilize the in-unit long-term bicycle parking provisions, in-unit long-term bicycle parking spaces may only be located in ground floor units.

Table 20.670.040-5. Bicycle Parking Minimums

b. Additional Development Standards. The following standards apply to sites where more than 20 long-term bicycle parking spaces are required and provided in one or more shared bicycle parking facilities outside of individual dwelling units:

- i. Minimum Number of Horizontal Bicycle Parking Spaces. At least 20 percent of spaces must be in a horizontal rack, or on the lower level of a stacked bicycle parking rack.
- ii. Parking for Larger Bicycle Spaces. At least five percent of spaces must accommodate a larger bicycle space for cargo bikes, placed in a horizontal rack. These spaces must be a minimum of three feet (36 inches) in width, 10 feet (120 inches) long with three feet and four inches (40 inches) of height clearance.
- iii. Electrical Outlet Requirement. At least 20 percent of spaces must have electrical sockets within four feet of the spaces. Each electrical socket must be accessible to horizontal bicycle parking spaces.

K. UTILITIES AND SCREENING.

1. Utility and Solid Waste Locations. Utilities shall be located away from primary streets and pedestrian sidewalks and located on alleys or from secondary streets wherever possible.

2. Below Grade Utilities. Utilities shall be located below grade in vaults or inside buildings where possible. Solid waste containers and disposal areas shall be located inside buildings. If not possible, screening shall be provided per Chapter 20.970 VMC.

3. Venting System Locations. Venting of air exhaust and mechanical building systems shall be away from primary streets and main pedestrian areas and shall be architecturally incorporated into buildings.

4. Wall-Mounted Utilities. Utilities mounted on building walls shall not intrude on the public right-of-way space adjacent to a pedestrian path of travel, shall be set back, or have a landscape zone for a buffer.

5. Mechanical Vents. Mechanical vents required on building exteriors shall be located eight feet above grade or between grade and 18 inches and shall be integrated into the façade design to minimize visual impacts. (Ord. M-4402 § 3(Q), 2023; Ord. M-4341 § 3 (Exh. A), 2021)

20.670.050

Design Standards Modification.

Modifications to design standards listed above and The Heights Urban Design Guidelines, with the exception of height and parking, may be processed as part of the request for site plan approval if the applicant can demonstrate compliance with the following approval criteria:

- A. The modification(s) is warranted given site conditions and/or characteristics of the design; and**
- B. The proposed change meets the intent of the development standards and The Heights Subarea Plan and is consistent with the Design Guidelines; and**
- C. The proposed change will not result in a substantial impact to transportation, water, sewer, or stormwater management systems; and**
- D. The proposed change is consistent with Vancouver Municipal Code and Vancouver Comprehensive Plan. (Ord. M-4341 § 3 (Exh. A), 2021)**

20.670.060

Approval Process.

This section was recently amended by Ordinance M-4402, codified in May 2023.

- A. New developments and modifications to existing permitted development shall comply with the approval process outlined in Chapter 20.270 VMC, Site Plan Review, and VMC 20.790.530, Planned Action Review.**
- B. New development and modifications to existing permitted development shall also comply with design review approval criteria for the HX district established in subsection D of this section unless exempted. The following activities shall be administratively exempt from design review:**
 - 1. Exterior work not visible from the public way or public areas such as parks and other publicly accessible spaces;**
 - 2. Placement of permanent signs, unless (a) inconsistent with adopted design guidelines, such as pole signs; or (b) potentially inconsistent with nearby uses;**
 - 3. Public art; and**
 - 4. Other minor construction such as replacement of doors, windows, awnings, etc., determined by the planning official to be exempt.**
- C. Site plan approval criteria. The site plan shall be approved, approved with conditions or denied upon finding that:**
 - 1. The proposed development implements The Heights District Plan and the requirements of this chapter;**
 - 2. The proposed development is consistent with The Heights District Plan vision, goals, and policies, as applicable;**
 - 3. The development is consistent with The Heights District Urban Design Guidelines or proposed standards that will achieve at least equal quality site development;**

4. All new development is consistent with the conceptual street and open space layout as illustrated in The Heights District Subarea Plan and Urban Design Guidelines.

D. Design review approval criteria. The planning official shall base all reviews of the design of any proposed construction, remodeling or development according to the following criteria:

- 1. The requirements, guidelines, and applicable provisions of this title that are applicable to the zoning district where the property is located and including all additional zoning regulations which may apply to the use or to its area by provision for overlay district, or made applicable by any conditional use or variance approval;**
- 2. The Heights Urban Design Guidelines kept on file and available for public inspection at the community development department;**
- 3. The relationship found to exist between existing structures and open space, and between existing structures and other structures in the vicinity, and the expected effect of the proposed construction upon such relationships;**
- 4. The impact of the proposed construction on adjacent uses, including impact of new or revised parking and pedestrian uses;**
- 5. The protection of neighboring uses from identifiable adverse effects of the design of the proposed construction; and**
- 6. The proposed development is consistent with The Heights District Plan vision, goals, and policies, as applicable. (Ord. M-4402 § 3(R), 2023; Ord. M-4341 § 3 (Exh. A), 2021)**